

STRATEGIC ASSESSMENT OF NEED FOR HALLS PROVISION IN COTSWOLD

FACILITY PLANNING MODEL LOCAL RUNS

Draft Report

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1 INTRODUCTION

- 1.1 This report provides a preliminary overview of the current and future level of provision of sports halls in Cotswold District. The assessment uses Sport England's Facilities Planning Model (sometimes called the FPM) and data from the National Facilities Audit run as of January 2016.
- 1.2 This report, and the data presented in the main outputs and maps, should not be considered in isolation and it is recommended that this analysis should form part of a wider assessment of provision at the local level, using other available information and knowledge. Guidance on the methodology to undertaking robust facilities needs and demand assessments can be found at http://www.sportengland.org/facilities-planning/planning-for-sport/planning-tools-and-guidance/
- 1.3 The Facilities Planning Model runs described here model the current facility provision in 2016 (Run 1) and with the projected population increase at 2031 (Run 2).
- 1.4 A map of the Study Area is shown in Figure 1.1
 - Describing the study area provides some points of explanation and a context for the report's findings. Customers/users of sports halls do not respect local authority boundaries and whilst there are management and pricing incentives (and possibly disincentives) for customers to use sports facilities located in the area in which they live, there are some big determinants as to which sports hall people will choose to use.
 - 2. These are based on: how close the sports hall is to where people live; the ease at which people can travel to the hall, the age and condition of the facility, how full a facility is, its attractiveness; other facilities within/on the site such as a fitness suite; personal and family choice; and reasons for using a particular facility, such as a particular activity going on.
 - 3. Consequently, in determining the position for Cotswold District, it is very important to take full account of the halls in the neighbouring local authorities. In particular, to assess the impact of overlapping catchment areas of facilities located in Cotswold District and those located outside the administrative area. For example, the



nearest facility for some Cotswold District residents may be located outside the administrative boundary (known as exported demand) and for some residents of neighbouring authorities their nearest sports hall is located within the Cotswold District boundary (known as imported demand).

- 4. Taking account of all these factors is achieved by establishing a study area which places Cotswold District at the centre of the study area and assesses the import and export of demand into and out of Cotswold District and reflects the location, age, condition and content of all the Sports Halls within the District.
- 5. This method embraces the National Planning Policy Framework's approach of taking account of neighbouring authorities when assessing locally derived needs and development of a local evidence base for provision of services and facilities.
- 7. The study area for this assessment is the Cotswold District administrative area and the authorities which surround it. The report will concentrate on those authorities which have the most relevance for Cotswold District.



Figure 1.1: Map of the study area.





2 SUPPLY OF SPORTS HALLS

- 2.1 Table 2.1 shows that in both runs, there are 12 halls in Cotswold spread across nine sites which supply a total of 8,471 vpwpp (visits per week in the peak period). When measured in courts (a court is defined as equivalent badminton court size), this gives a total supply of 49.3 courts. However, this is reduced to 31.0 courts when scaled with peak hours' availability.
- 2.2 Cotswold District has 5.8 courts per 10,000 people in 2016 which reduces to just over 5.5 courts per 10,000 people in 2031.

Table 2.1: Supply of Sports Halls

Cotswold District	2016 (RUN 1)	2031 (RUN 2)
Number of sports halls	12	12
Number of sports hall sites	9	9
Supply of total sports hall space expressed as main court equivalents	49.3	49.3
Supply of sports hall space in courts, scaled by hours available in the peak period	31.0	31.0
Supply of total sports hall space (visits per week in the peak period)	8,471	8,471
Courts per 10,000 people	5.8	5.5

- 2.3 Table 2.2 below, summarises the key sports hall facility characteristics within Cotswold District. There is one site (Fire Service College in Moreton-in-Marsh) that is designated as 'commercial', which was built in 1977 and has not been refurbished. Four of the sites have been built since 2000 and two of the remaining five sites have been refurbished in the last eight years.
- 2.4 Some of the halls are provided by the education sector. An assumption is made that these halls will not generally provide as balanced a program as halls run by local authorities, trusts, etc., with school halls more likely to be used by teams and



- groups through block booking. To reflect this, two weighting curves are used for education and non-education halls. These are a high weighted curve and a lower weighted curve.
- 2.5 The high weighted curve includes non-education management with better balanced programme, which is more attractive. The lower weighted curve includes educationally owned and managed halls and is less attractive.

Table 2.2: Sports Halls in Cotswold District

Facility	Type Yr	Yr	racioi		Public /			Total Hrs	Capacity	
	.,,,,,	Build	Refurb	2016	2031	Comm.	Curve	PP		(vpwpp)
Cirencester Deer Park School, Cirencester	Main	1992		0.42	0.32	Р	L	33	43.5	1,327
Cirencester Deer Park School, Cirencester	Activity							33	43.5	
Kingshill School, Cirencester	Main	2000		0.46	0.37	Р	L	17.5	17.5	420
Cotswold Leisure Cirencester	Main	2006		0.96	0.79	Р	Н	45.5	105.5	1,638
Farmor's Sports Centre, Fairford	Main	1990		0.40	0.31	Р	L	11.5	12	276
Fire Service College Leisure Club, Moreton-in-Marsh	Main	1977		0.32	0.25	С	L	27.5	72.5	660
Rendcomb College Rendcomb	Main	1994	2008	0.47	0.33	Р	L	33	36	792
Swr Leisure	Main	1993	2013	0.95	0.59	Р	Н	35.5	47	852
The Cotswold School, Chipping Campden	Main	2009		0.49	0.43	Р	L	14	18	1,894
The Cotswold School, Chipping Campden	Activity							32.5	35	
The Cotswold School,	Activity							32.5	35	



Chipping Campden									
Westonbirt Sports Centre, Westonbirt	Main	2005	0.95	0.77	Р	Н	25.5	28.5	612

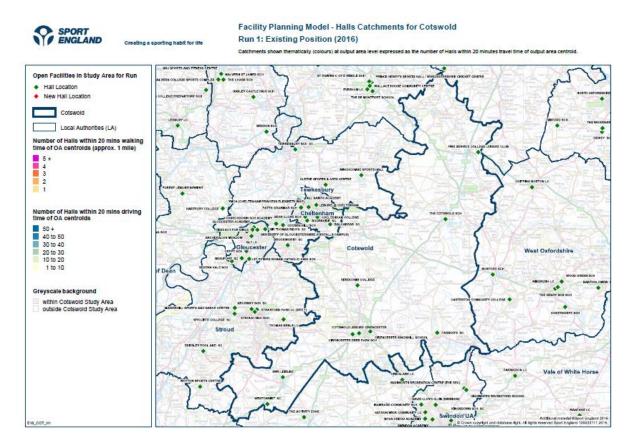
- 2.6 Table 2.3 shows the average facility attractiveness in each of local authority within the Study Area weighted to allow for different facility capacities. The factors are based on the original facility age and the dates of any refurbishments.
- 2.7 In 2016, the range of attractiveness of sports facilities between the different local authorities within the Study Area varies between 0.42 and 0.80. The average attractiveness of the Cotswold District's facilities is 0.63. In 2031, the attractiveness of the facilities within all local authorities within the Study Area is set to decrease. However, Cotswold District's facilities are expected to become on average more attractive than all of its surrounding local authorities. Furthermore, Cotswold District has the joint second lowest decrease in attractiveness (-0.14) of all of the local authorities within the Study Area.

Table 2.3: Average Facility Attractiveness

	2016	2031	Difference between 2016 and 2031
Cotswold District	0.63	0.49	-0.14
Vale of White Horse	0.56	0.38	-0.18
West Oxfordshire	0.58	0.41	-0.17
Swindon UA	0.72	0.47	-0.25
North Wiltshire	0.68	0.40	-0.28
Cheltenham	0.64	0.40	-0.24
Stroud	0.80	0.48	-0.32
Tewkesbury	0.42	0.31	-0.11
Stratford-on-Avon	0.53	0.39	-0.14
Wychavon	0.58	0.40	-0.18



- 2.8 It should be noted that not all facilities are the same and users will find certain facilities more attractive to use than others. The model attempts to reflect this by introducing an attractiveness weighting factor, which affects the way visits are distributed between facilities. More information is provided in Appendix 1 to this report.
- 2.9 Map 2.1 shows the location of sports halls within the Study Area. The provision of sports halls in Cotswold District is unlikely to change in future as no new sports halls are planned.





Map 2 – Location of sports halls



3 DEMAND FOR HALLS

- 3.1 Table 3.1 shows the population increase in Cotswold District between 2016 and 2031, which is based on ONS sub-national population projections
- 3.2 For Cotswold District, the demand from this population in 2016 is for 4,839 visits per week in the peak period. Using standard model parameters, this increases to 4,848 visits per week in the peak period at 2031. This is equivalent to just over 22 badminton courts with the comfort factor included.
- 3.3 There is no significant change in demand over the plan period with the estimated increase in population.

Table 3.1: Demand for Sports Halls

Cotswold District	2016 (Run 1)	2031 (Run 2)
Population	84,639	90,325
Visits demand (vpwpp)	4,839	4,848
Equivalent in courts – with comfort factor included	22.2	22.2
% of population without access to a car	11.9	11.9

Table 3.2 shows Cotswold District's demand as visits per week in the peak period per 1,000 persons, as well as that of the surrounding local authorities, the South West region and England as a whole. The demand in Cotswold District in 2016 is 57.2, which decreased 53.7 at 2031. In both Runs, Cotswold District has the second lowest demand per head in the Study Area (only Stratford-on-Avon District is lower) and is lower than the regional and national demands. The general decline between 2016 and 2031 is due to an ageing population.



Table 3.2: Visits per week in the peak period per 1,000 persons

	2016 (Run 1)	2031 (Run 2)
ENGLAND TOTAL	61.0	58.7
SOUTH WEST TOTAL	59.4	55.9
Cotswold District	57.2	53.7
Vale of White Horse	59.4	56.7
West Oxfordshire	59.3	56.1
Swindon UA	61.6	59.3
North Wiltshire	59.8	56.9
Cheltenham	61.3	59.0
Stroud	58.3	55.1
Tewkesbury	58.6	55.9
Stratford-on-Avon	57.0	53.0
Wychavon	57.4	53.9

In terms of accessibility to sports hall facilities, approximately 12% of Cotswold District's population has no access to a car, compared with about 25% nationally. There is no expected change in car ownership in 2031. Table 3.3 shows that just over 26% of the Cotswold District population is within a 20-minute walk from a sports hall in both Runs. This is primarily because of the rural nature of Cotswold District.



Table 3.3: Percentage of the population within 20 minute walking time of sports hall sites

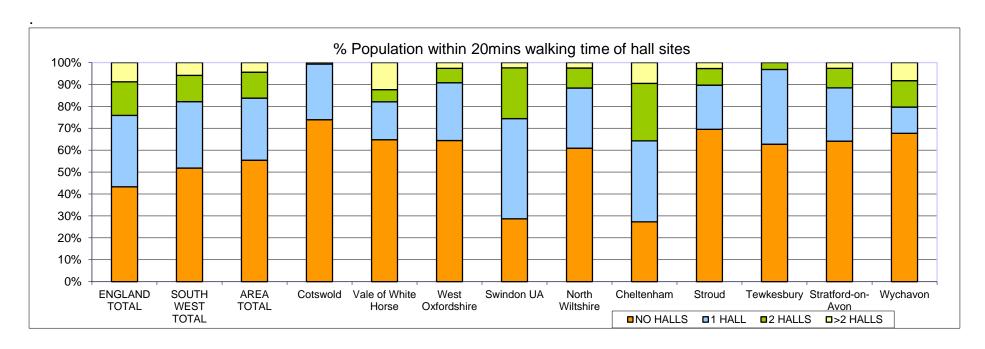
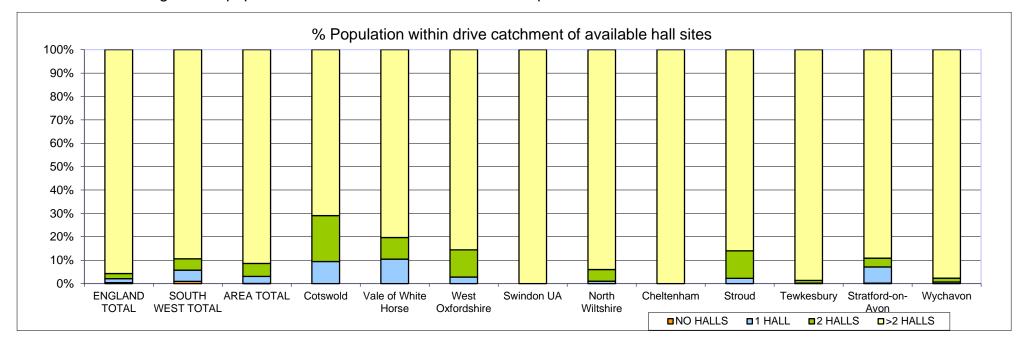




Table 3.4: Percentage of the population within a 20 minute drive time of sports hall sites.



3.6 The location of the demand for access to sports halls is shown in Figures 3 and 4. The greatest level of demand is concentrated around Cirencester, Tetbury and Stowe-on-the-Wold. The distribution of demand does not change in Run 2.



Figure 3: Sports Halls Demand in 2016 (Run 1)

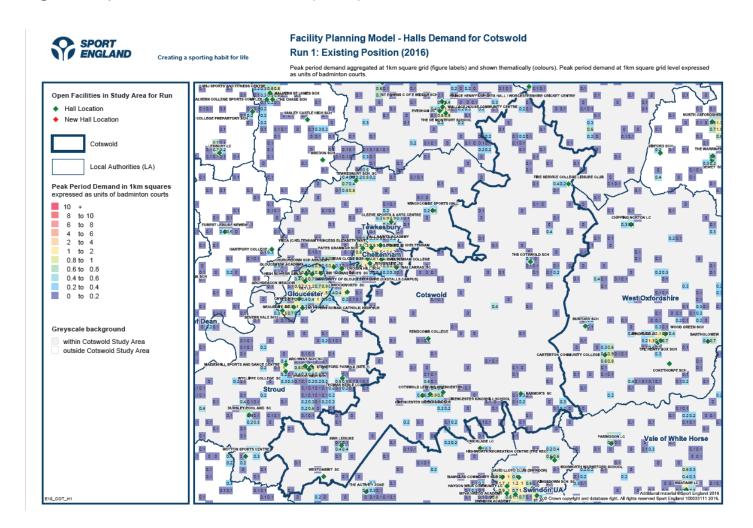
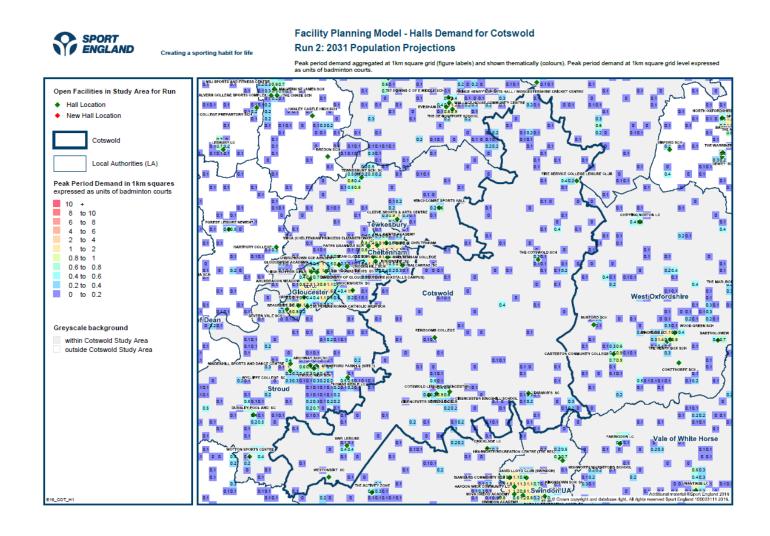




Figure 4: Sports Halls Demand in 2031 (Run 2)





- 3.7 Figures 5-8 show the relevant walk time and drive time catchment for facilities in Cotswold District and the surrounding areas. The maps show that some residents in Cirencester have access to one sports hall within 20 minutes' walk time, whereas the population of the entire District has access to a sports hall within a 20-minute drive time.
- 3.8 This situation for walking and driving catchments does not materially change in 2031.



Figure 5: Map of 20-minute walking catchment at 2016 (Run 1)

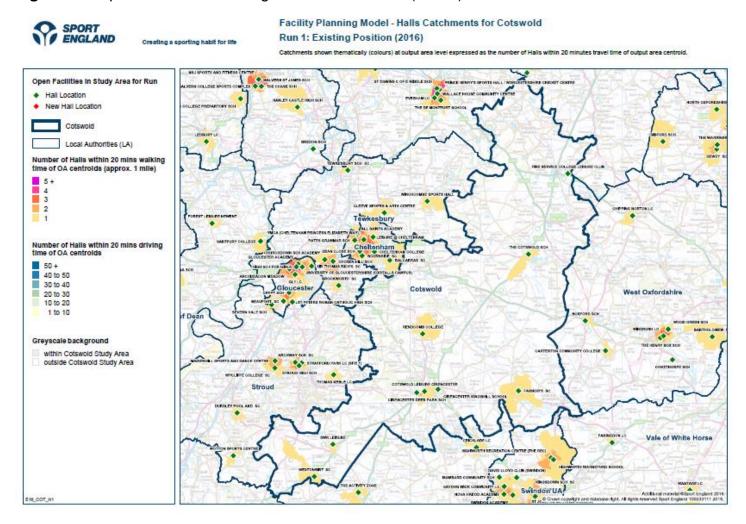
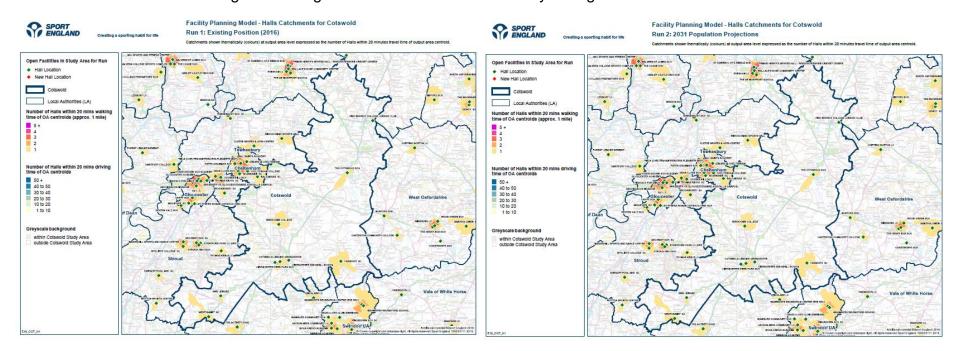




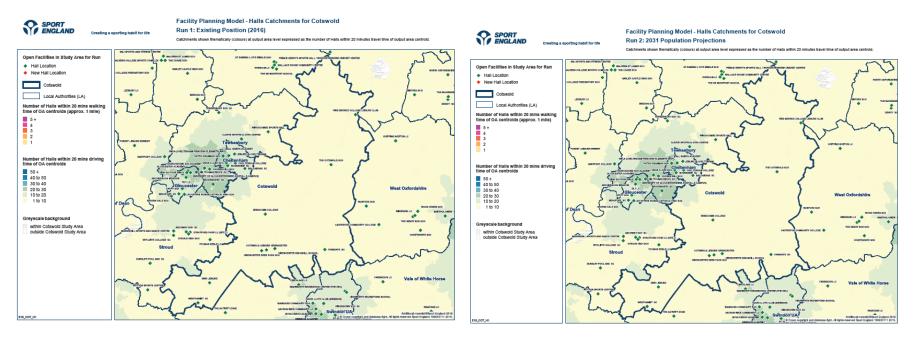
Figure 6: Map of 20-minute walking catchment at 2031

- 3.9 The following maps show the relevant walk time and drive time catchment for facilities in COTSWOLD DISTRICT and the surrounding areas. The maps show that some residents in Cirencester have access to one sports hall within 20 minutes' walk time, whereas all the halls within the district are accessible within a 20-minute drive time.
- 3.10 This situation for walking and driving catchments does not materially change in 20131.



Maps 5 & 6 – 20-minute walking catchment





Maps 7 & 8 – 20-minute drive time catchment



4 SUPPLY & DEMAND BALANCE

Cotswold	RUN 1	RUN 2
Table 3 - Supply/Demand Balance	2016	2031
Supply - Hall provision (courts) scaled to take account of hours available for community use	31.0	31.0
Demand - Hall provision (courts) taking into account a 'comfort' factor	22.2	22.2
Supply / Demand balance	8.9	8.8

- 4.1 Supply and demand balance only provides a 'global' view of provision it compares total demand generated for sports halls within COTSWOLD DISTRICT with the total supply of sports halls within COTSWOLD DISTRICT. This therefore represents an assumption that ALL the demand for halls in COTSWOLD DISTRICT is met by ALL the supply of halls in COTSWOLD DISTRICT. (Note: it does exactly the same for the other local authorities in the study area).
- 4.2 This measure, calculated prior to running the FPM, only provides a simplistic, 'global' view of provision and does not take into account the location, nature and quality of facilities in relation to demand and how accessible facilities are to the resident population (by car and on foot). Also, it does not take account of facilities in adjoining authorities and so is not influenced by the ability of users in COTSWOLD DISTRICT to access facilities outside COTSWOLD DISTRICT, or by users from outside COTSWOLD DISTRICT to access facilities in COTSWOLD DISTRICT. The FPM models the interaction of all these factors and the results of the modelling are discussed in the following sections.
- 4.3 The resident population of COTSWOLD DISTRICT is estimated to generate a demand for a minimum of about 22 courts (taking into account the comfort factor). This compares with a current available supply of just nearly 31 courts (taking account of the hours available for community use) and results in a positive supply/demand balance of 9 courts, so supply is



- more than demand in 2016. By 2031 despite the increased population, coupled with no change in supply, this figure does not change.
- 4.4 For more comfortable provision, supply should be greater than demand. If supply only matches demand, then all sports halls would need to be full all of the time in order to meet all demand. Where demand exceeds supply, this gives the first indication that the halls will be full to capacity and that demand for access to sports halls might go unmet.
- 4.5 It is important to reiterate that this section only provides a global view of provision and does not take account of a number of important factors including the location of facilities in relation to demand, how accessible facilities are to the resident population (by car and on foot) and cross boundary flows. Residents will use halls in adjacent areas which may be closer to where they live or less busy than the halls in COTSWOLD DISTRICT. These factors are covered in the more detailed modelling outputs in the following sections.



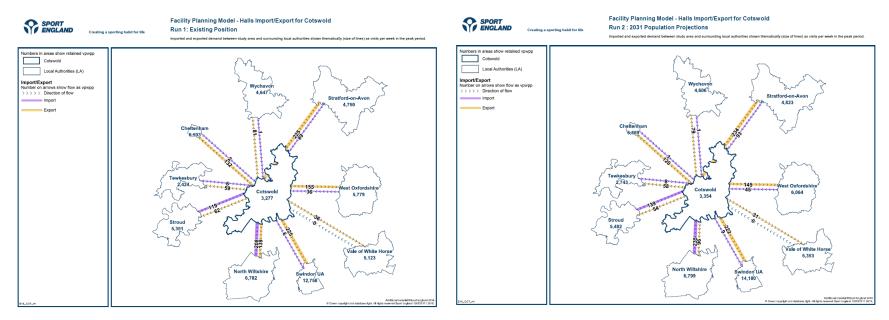
5 SATISFIED DEMAND

Cotswold	RUN 1	RUN 2
Table 4 - Satisfied Demand	2016	2031
Total number of visits which are met (vpwpp)	4,412	4,416
% of total demand satisfied	91.2	91.1
Total Annual Throughput (visits per year)	271,605	282,286
% of demand satisfied who travelled by car	90.7	90.7
% of demand satisfied who travelled by foot	5.8	5.8
% of demand satisfied who travelled by public transport	3.5	3.5
Demand Retained (vpwpp)	3,277	3,354
Demand Retained - as a % of Satisfied Demand	74.3	75.9
Demand Exported (vpwpp)	1135	1062
Demand Exported - as a % of Satisfied Demand	25.7	24.1

- 5.1 Just over 91% of demand is satisfied in both runs.
- 5.2 Only 6% of the satisfied demand is met by those who walk to sports halls, compared to about 91% who travel to sports halls by car. Interestingly, compared to the national picture satisfied demand from those who travel to sports halls by public transport is 3.5% compared to about 9% nationally. Again this can be down to the rural nature of COTSWOLD DISTRICT.
- 5.3 About 3/4s of COTSWOLD DISTRICT's satisfied demand is retained in runs 1 and 2. (In Run 1, 74.3% of Cotswold's satisfied demand is retained within Cotswold and this increases to 75.9% in Run 2.)



- 5.4 Exported satisfied demand goes mainly to Swindon and Stratford-on-Avon (5% each of Cotswold's satisfied demand in both runs) with smaller amounts to all of the other surrounding local authorities. Exported satisfied demand proportions by local authority remain fairly consistent for both runs.
- 5.5 The import/export maps below, show the numbers of visits exported to and imported from each of the surrounding local authorities.



Maps 9 & 10 – import/export



6 UNMET DEMAND

Cotswold	RUN 1	RUN 2
Table 5 - Unmet Demand	2016	2031
Total number of visits in the peak, not currently being met (vpwpp)	428	432
Unmet demand as a % of total demand	8.8	8.9
Equivalent in Courts - with comfort factor	2.0	2.0
% of Unmet Demand due to:		
Lack of Capacity -	0.5	0.8
Outside Catchment -	99.5	99.2
Outside Catchment:	99.5	99.2
% Unmet demand who do not have access to a car	71.1	70.9
% of Unmet demand who have access to a car	28.5	28.3
Lack of Capacity:	0.5	0.8
% Unmet demand who do not have access to a car	0.0	0.1
% of Unmet demand who have access to a car	0.4	0.8

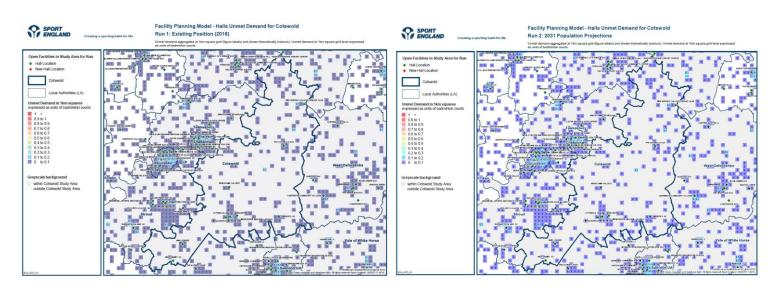
- 6.1 The levels of unmet demand in COTSWOLD DISTRICT are very small; they increase in Run 2 from 428 vpwpp to 432 vpwpp. This equates to 2 courts in both 2016 and 2031. The unmet demand is almost entirely due to residents living outside of a catchment area at over 99%, 71% do not have access to a car.
- 6.2 The table below converts the percentage of unmet demand to vpwpp, rounded to whole numbers of visits. It can be seen that the bulk of unmet demand is due to walkers who are outside a catchment, which is similar in both runs.



	vpwpp not met				
	RUN 1	RUN 2			
Outside Catchment	426	428			
No Car	304	306			
Car	122	122			
Lack of Capacity	2	3			
No Car	0	0			
Car	2	3			

6.3 The unmet demand maps show that in both runs unmet demand is very low across the whole local authority, both currently in 2016 and in the future, 2031.





Maps 9 & 10 – import/export



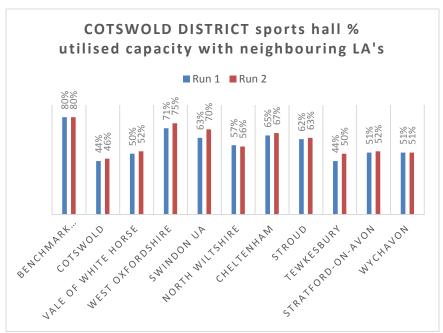
7 USED CAPACITY

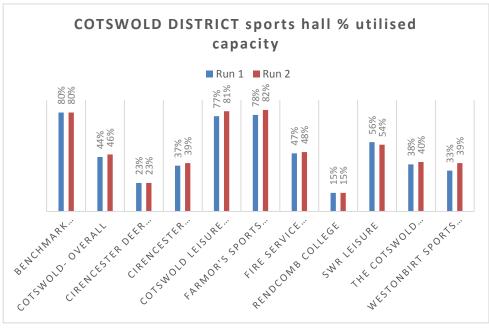
Cotswold	RUN 1	RUN 2
Table 6 - Used Capacity	2016	2031
Total number of visits used of current capacity (vpwpp)	3,761	3,909
% of overall capacity of halls used	44.4	46.1
% of visits made to halls by walkers	6.8	6.6
% of visits made to halls by road	93.2	93.4
Visits Imported;		
Number of visits imported (vpwpp)	484	555
As a % of used capacity	12.9	14.2
Visits Retained:		
Number of Visits retained (vpwpp)	3,277	3,354
As a % of used capacity	87.1	85.8

- 7.1 Overall, in Run 1, the sports halls in Cotswold are only 44.4% utilised, and this increases slightly to 46.1% in Run 2 and both are well within the recommended comfort level of 80%.
- 7.2 The table on the following page shows utilisation for each site in Cotswold and the overall averages for the surrounding local authorities.
- 7.3 In Run 1, there is a range in the utilisation of facilities in Cotswold from 15% (Rendcomb College) to 78% (Farmor's Sports Centre). In Run 2, the utilisation of most of the facilities in Cotswold increases slightly, apart from two facilities which remain the same and one facility where utilisation decreases (SWR Leisure).
- 7.4 In Run 2, both Cotswold Leisure Cirencester and Farmor's Sports Centre, are pushed over the recommended 80% comfort factor. By Run 2, Farmor SC will have had a refurbishment as it has not a major update since it was opened in 1990. It



would also be expected that Cotswold LC although opened in 2006, would also require refurbishment work. In scoping the refurbishment work, a study on how to increase capcity should be carried out.





- 7.5 Cotswold has the lowest average utilisation of any local authority in the study area, except for Tewskesbury which is similar in Run 1. West Oxfordshire has the highest average utilisation in both runs of 71% and 75%.
- 7.6 The proportion of satisfied demand in Cotswold that is imported increases from 12.9% in Run 1 to 14.2% in Run 2.
- 7.7 In both runs, imported demand comes mainly from North Wiltshire (6% of demand satisfied in Cotswold) with smaller amounts from Stroud and Stratford-on-Avon.

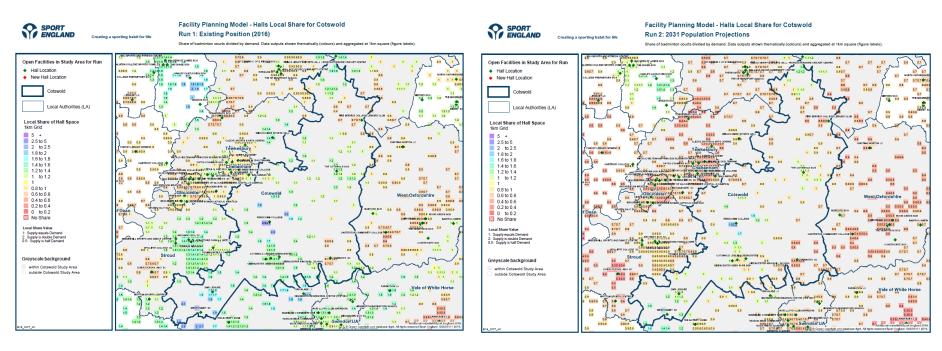


8 SHARE

Cotswold	RUN 1	RUN 2
Table 7 - Share	2016	2031
Local Share: where values <1 indicates deficit; values >1 indicate surplus	1.26	0.93
Score - with 100 = FPM Total (England and also including adjoining LAs in Scotland and Wales)	157.5	175.5
+/- from FPM Total (England and also including adjoining LAs in Scotland and Wales)	57.5	75.5

- 7.8 The table above helps to show which areas have a better or worse share of facility provision. It takes into account the size and availability of facilities as well as travel modes. It helps to establish whether residents within a particular area have less or more share of provision than other areas when compared against a national average figure which is set at 100.
- 7.9 Local share indicates that Cotswold is well supplied with sports halls in Run 1, but the share is poorer in Run 2.
- 7.10 The Local Share maps illustrate the geographical pattern of the share. Share is poorest around Fairford and Moreton-in-Marsh in both runs.
- 7.11 Compared with the FPM average, Cotswold is well supplied with sports halls in both runs.





Maps 11 & 12 – share



9 ANNUAL THROUGHPUT

STUDY AREA	RUN 1	RUN 2
Individual Sites (projected annual th'put)	2016	2031
FPM TOTAL	208,413,231	215,505,187
ENGLAND TOTAL	205,506,232	212,640,522
SOUTH WEST TOTAL	20,428,376	21,495,291
AREA TOTAL	4,476,127	4,603,561
Cotswold	271,605	282,286
CIRENCESTER DEER PARK SCHOOL	18,438	18,627
CIRENCESTER KINGSHILL SCHOOL	7,934	8,397
COTSWOLD LEISURE CIRENCESTER	116,289	122,557
FARMOR'S SPORTS CENTRE	11,312	11,798
FIRE SERVICE COLLEGE LEISURE CLUB	31,739	32,063
RENDCOMB COLLEGE	6,555	6,283
SWR LEISURE	28,915	28,076
THE COTSWOLD SCHOOL	39,304	41,333
WESTONBIRT SPORTS CENTRE	11,121	13,151
Vale of White Horse	383,373	407,570



West Oxfordshire	406,385	415,387
Swindon UA	1,012,058	1,099,410
North Wiltshire	515,729	510,655
Cheltenham	620,792	607,274
Stroud	370,609	363,383
Tewkesbury	201,966	229,247
Stratford-on-Avon	407,941	405,499
Wychavon	285,667	282,848

- 9.1 The table above shows annual throughput for facilities in Cotswold and the totals for the surrounding areas. These are in line with the findings in the preceding sections.
- 9.2 Note that the calculation of annual throughput makes a number of simplifying assumptions and so should only be taken as a guide.



10 SUMMARY AND CONCLUSIONS

- 10.1 The FPM runs described here model the status quo in 2016 (Run 1) and the position in 2031 with changes in demand, but no changes to supply (Run 2), through the projected population in 2031 (Run 2).
- 10.2 The supply of sports halls in Cotswold was modelled as providing 8,471 vpwpp (visits per week in the peak period) in both runs (see Section 2).
- 10.3 Population data was based on ONS sub-national population projections. In Cotswold, the demand from this population, derived using standard model parameters, is for 4,839 vpwpp in 2016 and 4,848 vpwpp in 2031 (see Section 3).
- 10.4 Converting demand as vpwpp to courts and comparing this with supply, also scaled to courts, shows that there is a surplus of supply in both runs of approximately 9 courts. However, this measure takes no account of the relative locations of supply and demand and does not allow for flow of demand between local authorities (see Section 4).
- 10.5 Just over 91% of demand is satisfied in both runs (see Section 5).
- 10.6 The bulk of unmet demand can be attributed to walkers outside the sports hall catchment area in both runs (see Section 6).
- 10.7 The model shows that 74.3% of satisfied demand is retained in Cotswold in Run 1 and this increases to 75.9% in Run 2. Exported satisfied demand goes mainly to Swindon and Stratford-on-Avon (see Section 5).
- 10.8 Imported demand makes up 12.9% of the used capacity within Cotswold in Run 1 and 14.2% in Run 2. Imported demand comes from North Wiltshire, with smaller amounts from Stroud and Stratford-on-Avon (see Section 7).
- 10.9 Average facility utilisation in Cotswold is only 44% in Run 1 and increases slightly in Run 2 to 46% (see Section 7).
- 10.10 Compared with the FPM average Cotswold is well supplied with sports halls in both runs, but the local share is poorer in Run 2 than in Run 1 (see Section 8).
- 10.11 In conclusion there is no apparent need for addition sports hall space in COTSWOLD DISTRICT. The main issues are around the facilities which are considered to be full and those which are operating at lower levels. In addition, the housing



- growth may lead to the provision of new schools this in turn may lead to the provision of additional sports halls which may bring some out of school hours community use opportunities.
- 10.12 However, as schools opt out of Local Educational Authorities, this may remove the available sports hall to the local community. This could account for 3 sites which have a total of 65,676 vpwpp, 2016 and 68,357 vpwpp, 2031. This would equate to a 19% reduction of the overall vpwpp.
- 10.13 This loss could be absorbed in the remaining 6 sites, although consideration should be given to seeking community use agreements on the current educational sites and any future ones coming forward.
- 10.14 Consideration should also be given to seek contributions from future housing developments to improve several of the older sports halls to increase their attractiveness and capacities.